

**ADDENDUM NUMBER: ONE**

**ISSUED BY: SEPW Architecture Inc.**  
109 – 3725 Pasqua St., Regina, SK. S4S 6W8  
PH. (306) 569-2255

**PROJECT: INPUT HOUSING, MITCHINSON & WAKELING  
HARBOUR LANDING, REGINA, SK.**

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This Addendum forms part of the Contract Documents and amends the original Drawings and Specifications dated 2019-02-20, previous Addenda if applicable and as noted below. This Addendum consists of 3 pages and attached Specification Sections and Drawings as listed below.

Ensure that all parties are aware of all items included in this Addendum.

**The following revised or additional Specification Sections accompany and form an integral part of this Addendum:**

Section No.	Title	Pages	Date of Issue
00 41 13	Appendix “B” – List of Alternative Prices	1	

**The following revised or additional Drawings accompany and form an integral part of this Addendum:**

Dwg. No.	Title	Date of Issue
A0.1R1	Cover Sheet, Code Analysis	2019-03-04
A2.1R1	Basement Floor Plan	2019-03-04
A2.2R1	Main floor Plan	2019-03-04
1/SK1	Exterior Stair Plan	Mar 1/19
1/SK2	Pile Plan & Detail	Mar 1/19
2/SK2	Pile Plan & Detail	Mar 1/19

- A-1-1 REF. SECTION 00 21 13 INSTRUCTIONS TO BIDDERS**  
1.8 Bid Enclosures/Requirements. Delete article “1.8.1 Security Deposit” in its entirety.
- A-1-2 REF. SECTION 00 41 13 BID FORM – STIPULATED SUM SINGLE PRIME CONTRACT**  
REPLACE current Appendix “B” – List of Alternative Prices with revised Appendix “B”
- A-1-3 REF. SECTION 06 10 00 ROUGH CARPENTRY**  
1. ADD 2.10 Composite Wood Decking. Manufacturer: Trex “Transcend” composite decking, or approved alternate. Provide all clips, fasteners and hardware as recommended by manufacturer. Colour selected from manufacturers standard range.  
2. ADD 3.1.11 Install composite wood decking in accordance with manufactures written instructions.
- A-1-4 REF. SECTION 08 50 00 WINDOWS**

REVISE: 2.9.1 to read “Jeldwen Hybrid Window DF 3103 Series or approved alternate”.

**A-1-5 REF. DRAWING A0.1R1**

REPLACE drawing with A0.1R1. Revised plan 2/A0.1R1 adds 45 min fire-resistant rating to north wall of west stair on the main floor.

**A-1-6 REF. DRAWING A0.4**

REVISE Section 14 20 06 Passenger Elevators article 1.1.1. Update ASME A17.1//CSA B44-2010 to A17.1//CSA B44-2013 code.

**A-1-7 REF. DRAWING A2.1**

REPLACE drawing with 1/A2.1R1. Adds gridlines to floor plan.

**A-1-8 REF. DRAWING A2.2**

1. REPLACE drawing with 1/A2.2R1. Adds gridlines to floor plan.
2. REVISE in Appliances and Accessories: article 2.1, Undercounter dishwasher will be provided by owner and installed by General Contractor.
3. ADD in Appliances and Accessories: article 2.5 Electric Fireplace Dimplex “IgniteXLF74” linear fireplace or approved alternate. Dimensions 75.41”W x 16.49”H.

**A-1-9 REF. DRAWING A4.4**

CLARIFY detail Porch Section 1/A4.4. Delete reference to stainless steel rain chains. Rain chains to be manufactured by Monarch “Aluminum Teardrop” rain chain with aluminum gutter reducer. Extend rain chain as required to provide required length. Similar rain chains accepted.

**A-1-10 REF. SECTION 23 81 29 VARIABLE REFRIGERANT FLOW SPLIT SYSTEM AIR CONDITIONERS**

4. Remove section 1.7 Maintenance Material Submittals for extra materials
5. Remove 5 year labour warranty in section 1.11 Warranty
6. Remove mention of heat recovery system in section 1.12.1. Revise sentence to VRV/VRF system shall be cooling only type which shall permit individual cooling of each indoor unit.

**A-1-11 REF. DRAWING S1**

Pile Plan: Detail 1/S1. Revise location of pile under stair grade beam as per 1/SK2.

**A-1-12 REF. DRAWING S11**

3. Drawing 4/S11 – Exterior Stair Plan: Replace plan detail with drawing 1/SK1.
4. Drawing 6/S11. Add Exterior slab at upstand detail as detail 6/S11. See attached detail 2/SK2

**A-1-13 REF. DRAWING M1.1 EQUIPMENT SCHEDULE**

- .1 Add the following to the cooling system control sequences:  
-Cooling system controller to control in-floor heating system radiant manifold valves as primary heating source. Refrigeration system to provide cooling only.

-Infloor heating zones that are not directly associated with the cooling system (VRV/VRF cooling unit) to have a low-voltage adjustable heating thermostat supplied by in-floor heating supplier. Thermostat to maintain the zone at user adjustable temperature, initial set to 20 deg. C.

- .2 Mechanical contractor to install filter rack in return ductwork of Cooling System fan coils. Filter rack to accommodate standard 2" MERV 8 filter.

**A-1-14 REF. GENERAL QUESTIONS**

1. Q: Washer/dryer by others?  
*A: The washer and dryer units are shown for information only. The washer and dryer units will be provided by the Owner.*
2. Storage Shed
  - a. Is the entire storage shed an alternative price, foundation through to shingles?  
*A: The entire storage shed from foundation to shingles as well as electrical wiring and lighting is to be included in the alternate price. A revised Appendix "B" is included with this addenda.*
  - b. A1.1 has the slab directly north of the storage shed clouded as well. Is this to be included in the alternative price?  
*A: The concrete slab north of the storage shed as well as the small section of slab east of the shed connecting the north slab to the sloped walkway is also to be included in the alternative price. The stairs are to be included as part of the main Bid Price.*
3. The drawings show an alternative price for concrete topping in the crawlspace, but this is not shown on the alternative bid form.  
*A: Refer to revised Alternative Bid Form included in Addenda 1.*
4. Can we submit the appendices within 2 hrs of bid close (4PM)?  
*A: In accordance with Section 00 21 13 Instructions to bidders Article 1.1.1.1.1, Appendix "A" and Appendix "B" can be received up until 4:00 pm.*
5. Rain chain spec/details  
*A: Refer to Addendum 1 for rain chain information.*
6. Is a bid bond required for submission. Typically we wouldn't see this as a requirement on a project of this nature with an interviewed, invited bid list.  
*A: Bid bond is not required. Refer to Addendum No. 1 for clarification.*
7. Electric fireplace spec.  
*A: Refer to Addendum 1 for fireplace information.*
8. Composite lumber decks specs/details.  
*A: Refer to Addendum 1 for addition to SECTION 06 10 00 ROUGH CARPENTRY.*
9. Line painting requirements.  
*A: Line painting in parking areas is not required.*

## APPENDIX "B" – LIST OF ALTERNATIVE PRICES

Project Title **Input Housing – Mitchinson & Wakeling**

Bid Submitted by: \_\_\_\_\_  
(Contractor)

The following are our prices for the alternative work listed hereunder. Such alternative work and amounts are NOT included in our Bid Price. These prices for the alternative work do NOT include Value Added Taxes.

We, the above named Bidder, offer the alternative prices requested below. The amount to be added to, or deducted from, our base bid price (as entered in the Bid Form) is entered for each alternative requested. All alternative prices exclude Value Added Taxes. If there is no change to the base bid price for an alternative, we have so indicated. It is understood that:

- a) the Owner may accept any of the alternatives and corresponding alternative prices in any order or combination, including all or none, and the Bidder acknowledges that a low bid in respect of one combination of alternatives may not be the low bid for the alternatives selected by the Owner.
- b) alternatives and alternative prices are open for acceptance by the Owner for the same period of time as the base bid price,
- c) the Work of the Contract and the Contract Price will reflect the alternatives and alternative prices, if any, accepted by the Owner at the time of contract award, and
- d) acceptance of any alternatives will not affect the base bid contract completion time, unless we have specifically indicated an increase or decrease in time, in number of days, on account of a particular alternative.

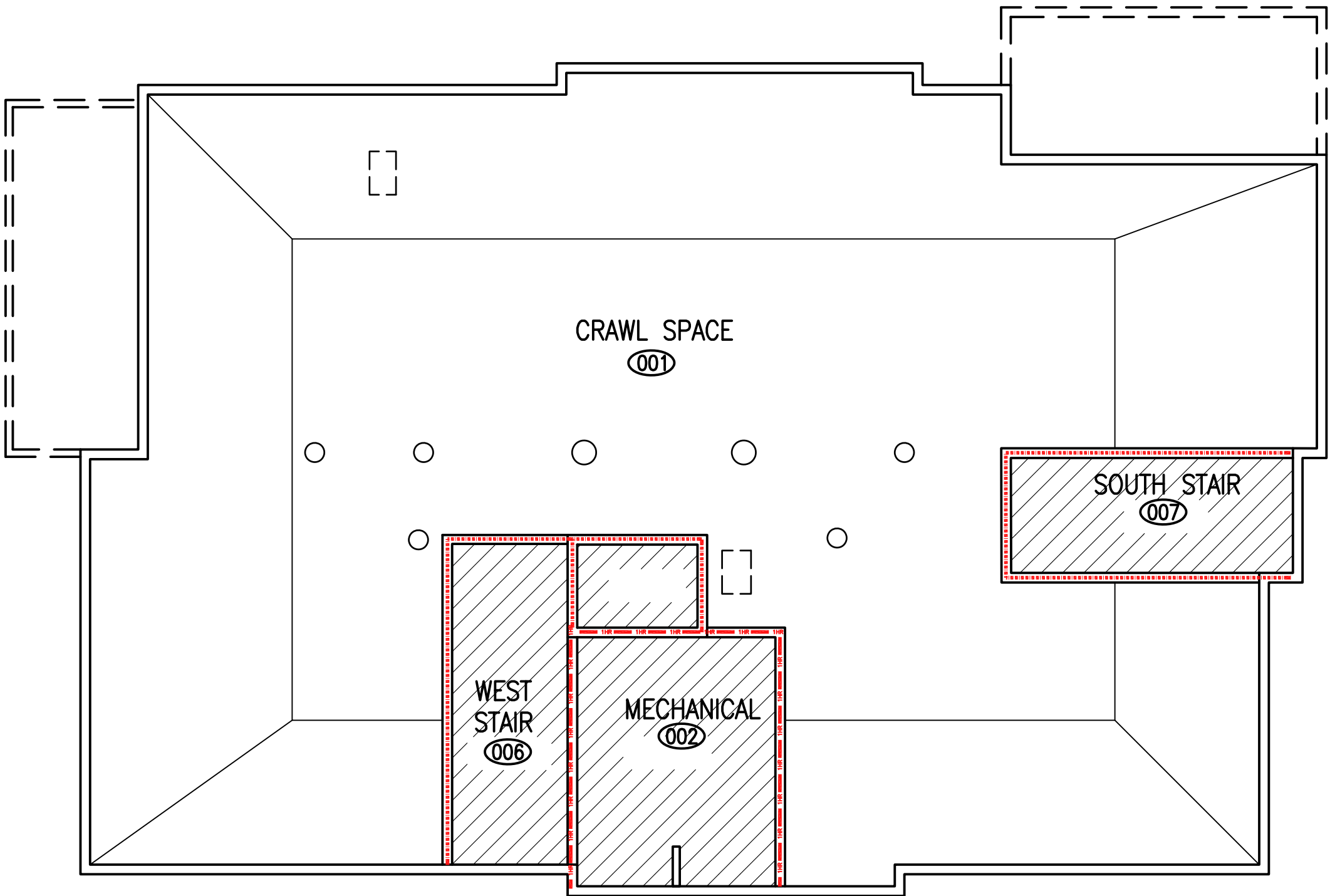
Description of Alternative Work	Effect on Stipulated Price (\$)		Effect on Contract Time (days)
	Addition	Deletion	
1. Contractor to provide Performance bond and Labour and Material bond in accordance with Section 00 73 00 Supplementary Conditions.			

<p>2. SHED and Concrete Patio –</p> <ul style="list-style-type: none"> <li>a. Provide concrete pad to the extents indicated on Site Plan drawing and labeled as Alternative.</li> <li>b. Provide Shed including, final grading and preparation, concrete grade beam and floor. Include all materials and labour as required to construct the shed as noted in the drawings. Include electrical wiring back to panel as noted in electrical drawings.</li> </ul>			
<p>3. Provide miscellaneous metal and structural steel as specified in the drawings and specifications.</p>			
<p>4. Provide decorative metal fencing as specified in Section 05 56 00 Decorative Metal Fencing and as noted on the drawings.</p>			
<p>5. Landscaping - Provide topsoil and final grading. Provide all plant and other landscape materials as noted in drawings. Install as specified and noted on drawings.</p>			
<p>6. Provide concrete slab topping as noted in Floor Type 7 (F7) for entire crawl space.</p>			

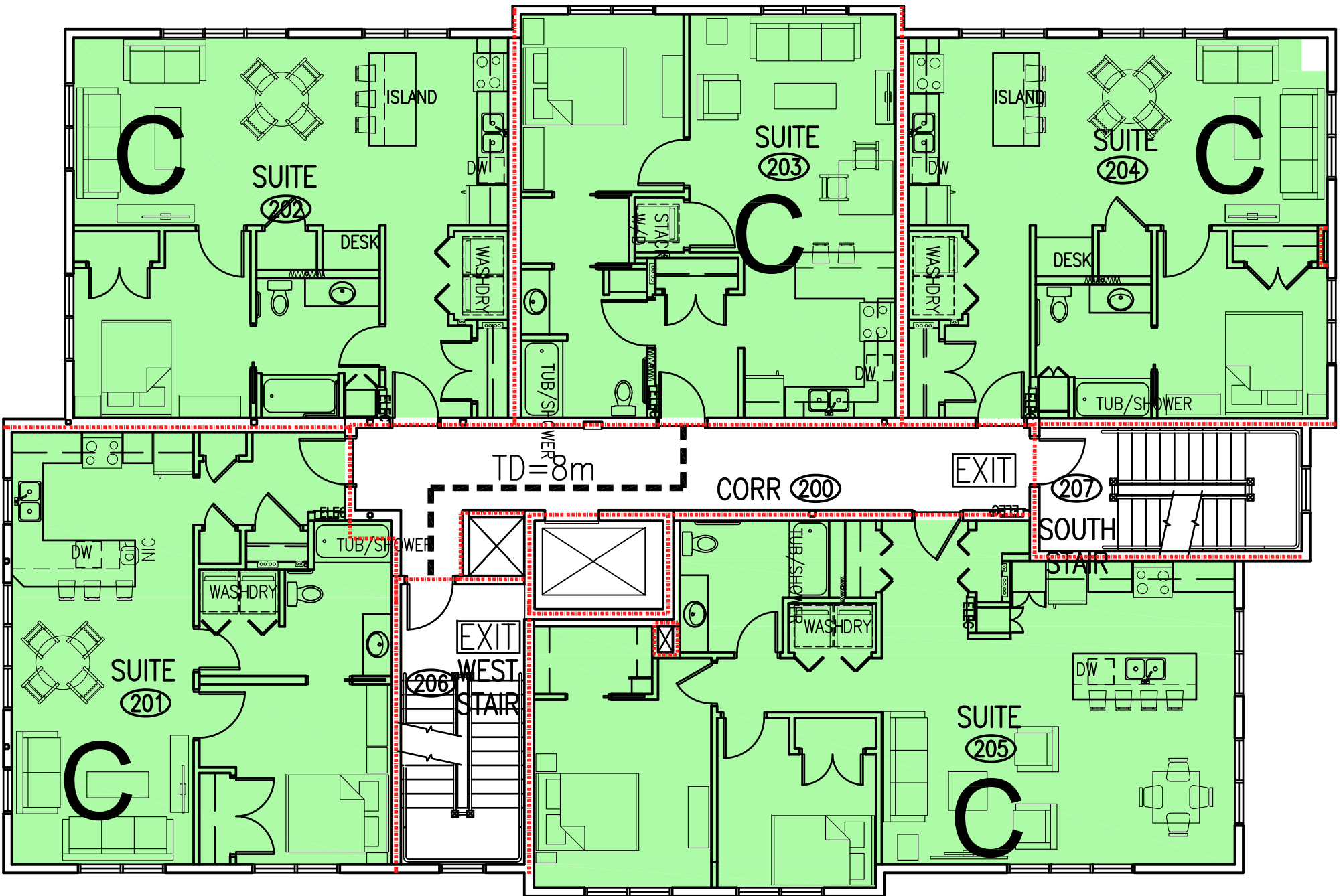


BUILDING ANALYSIS				
APPLIED CODE: NBCC 2015				
BUILDING ADDRESS:	4224 & 4232 WAKELING STREET, HARBOUR LANDING, REGINA, SASKATCHEWAN			
BUILDING OWNER:	INPUT HOUSING CORP.			
BUILDING AREA:	453.3 M2			
STOREYS ABOVE GRADE = 3    STOREYS BELOW GRADE = 1				
NUMBER OF STREETS (as defined by 3.2.2.10) = THREE (MITCHSON WAY, WAKELING STREET, AND ALLEYWAY)				
USE(s) OF THE BUILDING: RESIDENTIAL				
MAJOR OCCUPANCY CLASSIFICATION(s): GROUP C RESIDENTIAL GROUP C* RESIDENTIAL:    - ASSEMBLY USE SUBSIDIARY TO RESIDENTIAL OCCUPANCIES - OCCUPANT LOAD IS < 50 SO DOES NOT QUALIFY AS AN ASSEMBLY SPACE BASED ON NFPA 101 6.1.2.1				
BUILDING CODE CLASSIFICATIONS :    3.2.2.53; GROUP C, UP TO 3 STOREYS				
BUILDING CONSTRUCTION: COMBUSTIBLE CONSTRUCTION				
REQUIRED BUILDING CLASSIFICATION FIRE SEPARATIONS FOR THE MAIN BUILDING:				
FLOORS = 45 MIN.    MEZZANINE = 45 MIN.    ROOF = N/A    STAIRWELLS / EXITS = 45 MIN.				
SUPPORTING WALLS AND COLUMNS HAVE THE SAME FIRE RESISTANCE RATING AS THE SUPPORTED ASSEMBLY				
REQUIRED SPECIAL USE FIRE SEPARATIONS:				
SUITE SEPARATION 45 MIN. (3.3.4.2)	JANITOR ROOM 0 MIN. (3.3.1.21)	LAUNDRY ROOM 0 MIN. (3.3.1.22)	VERTICAL SERVICE SPACE 45 MIN. (3.6.3.1)	STORAGE ROOM 45 MIN. (3.3.4.3)
BOILER ROOM 1 HR. (3.6.2.1)				
EXIT SIGNS - REQUIRED?	YES	EMERGENCY LIGHTING - REQUIRED?	YES	
STANDPIPE & HOSE SYSTEM - REQUIRED?	NO	SMOKE DETECTORS - REQUIRED?	YES	
FIRE ALARM SYSTEM - REQUIRED?	YES	BARRIER FREE ACCESS -REQUIRED?	YES	
SPRINKLER SYSTEM - REQUIRED?	NO*	FIRE DAMPERS - REQUIRED?	YES	
ATTIC FIRE STOPS - REQUIRED?	NO*	PIPING FIRE STOPS - REQUIRED?	YES	
φ BASEMENT DOES NOT REQUIRE SPRINKLERING AS PER 3.2.1.5; AREA < 600M2, BASEMENT WILL BE SPRINKLER AS PER *				
□ ATTIC DOES NOT REQUIRE FIRE STOPS; AREA < 600M2				
FLAME SPREAD REQ'D FLAME SPREAD EXITS AND VERTICAL SERVICES SPACES: 25 ELSEWHERE: 150				
** BASEMENT DOES NOT REQUIRE SPRINKLERING AS PER 3.2.1.5 BECAUSE THE AREA OF THE ENTIRE BASEMENT IS < 600M2				
LIMITING DISTANCE NORTH: 14.5M EAST: 10.5M SOUTH: 16.9M WEST: 11.1M	UNPROTECTED OPENINGS AND CONSTRUCTION OF EXPOSING FACE LARGEST FIRE COMPARTMENT HAS AN MAXIMUM AREA OF 75.5M2 WITH A LIMITING DISTANCE OF 10M. THIS ALLOWS 100% U.P.O. BY TABLES 3.2.3.1.-B AND 3.2.3.1.-D. REGARDLESS OF SPRINKLER INSTALLATION, THERE ARE NO RESTRICTIONS ON U.P.O. OR EXPOSING FACE CONSTRUCTION.			
OCCUPANT LOAD:				
MAIN FLOOR	TYPE OF USE	AREA	PERSONS	
SUITE 101	DWELLING UNIT	2 BEDROOMS	4	
ACTIVITY ROOM	LOUNGE	23.7m2	13	
	FITNESS*	29.0m2	8	
KITCHEN	KITCHEN	27.4m2	3	
DINING	DINING	22.8m2	19	
LIVING	LOUNGE	39.7m2	22	
COR OFFICE	OFFICE	9.3m2	2	
			77	
2nd FLOOR	TYPE OF USE	AREA	PERSONS	
SUITE 201	DWELLING UNIT	1 BEDROOM	2	
SUITE 202	DWELLING UNIT	1 BEDROOM	2	
SUITE 203	DWELLING UNIT	1 BEDROOM	2	
SUITE 204	DWELLING UNIT	1 BEDROOM	2	
SUITE 205	DWELLING UNIT	2 BEDROOM	4	
			12	
3rd FLOOR	TYPE OF USE	AREA	PERSONS	
SUITE 301	DWELLING UNIT	1 BEDROOM	2	
SUITE 302	DWELLING UNIT	1 BEDROOM	2	
SUITE 303	DWELLING UNIT	1 BEDROOM	2	
SUITE 304	DWELLING UNIT	1 BEDROOM	2	
SUITE 305	DWELLING UNIT	2 BEDROOMS	4	
			12	
* NBC DOES NOT ASSIGN ASSIGN OCCUPANT LOAD FOR FITNESS SPACE. STANDARD DERIVED FROM NFPA 101B 2002.				
WASHROOM REQUIREMENTS: 1 WATER CLOSET IS REQUIRED FOR EACH DWELLING UNIT (3.7.2.2 (11)) THE MAIN FLOOR COMMON AREAS ARE A SUBSIDIARY USE TO THE DWELLING UNITS, AS SUCH, THE WASHROOMS IN THE DWELLING UNITS ALSO SERVE THESE AREAS. ONE CONVENIENCE FIXTURE HAS BEEN INCLUDED ON THE MAIN FLOOR.				
BARRIER FREE DESIGN: 8 OF THE 11 DWELLING UNITS ARE BEING DESIGNED OR ARE EASILY CONVERTIBLE TO THE REQUIREMENTS OF 3.8 AND THE SASK AMENDMENTS TO THE NBCC. EACH SUITE WILL BE A CONDOMINIUM AND AS SUCH THE SASK AMENDMENTS FOR NBC 3.8.2.12 DO NOT APPLY TO THE SUITES.				

FIRE RESISTANCE RATINGS	
0 HOUR	-----
45 MIN.	-----
1 HOUR	-----

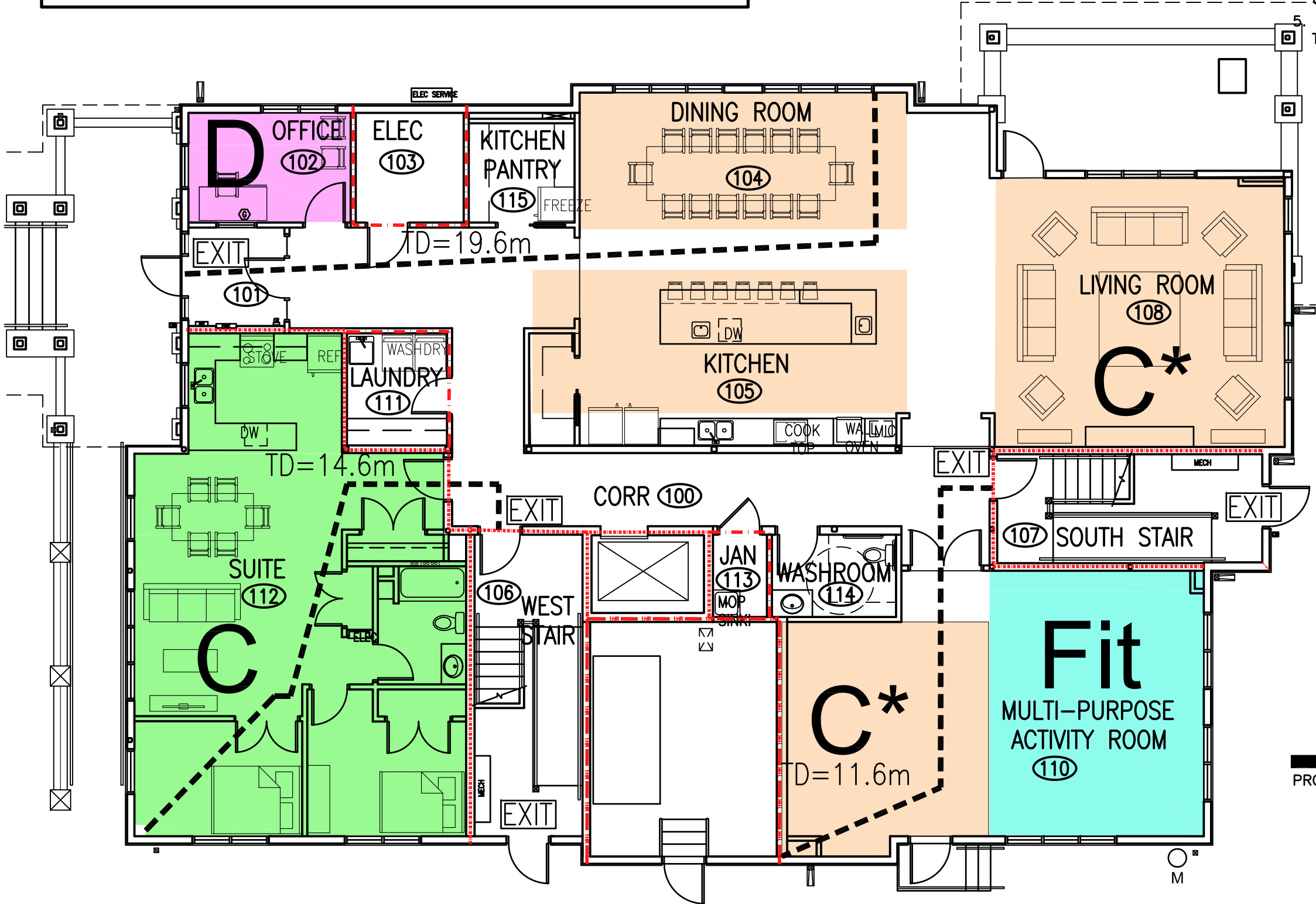


1 BASEMENT PLAN  
1:100

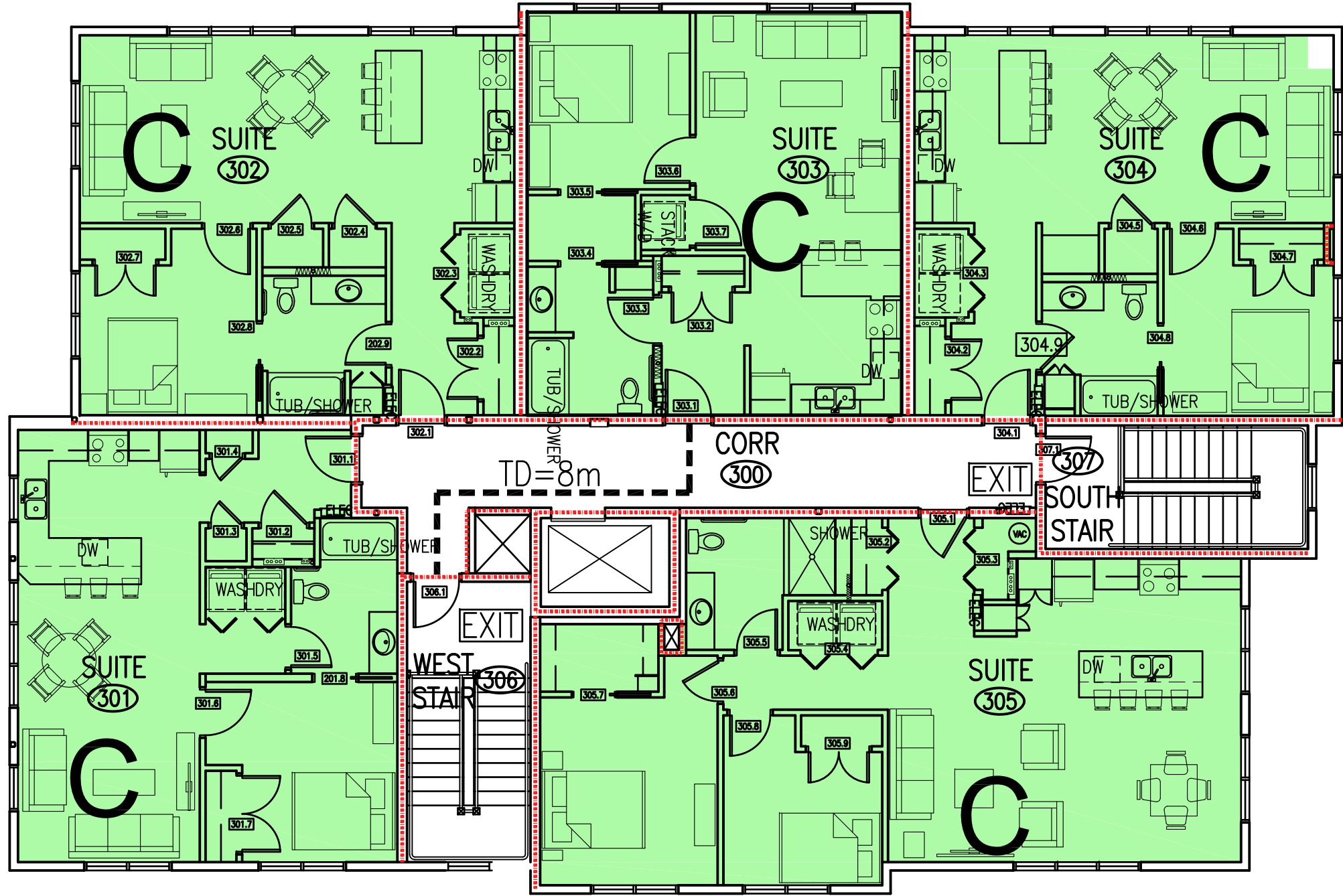


3 2ND FLOOR PLAN  
1:100

CLASSIFICATION LEGEND	
C:	RESIDENTIAL OCCUPANCY
C*:	SUBSIDIARY TO RESIDENTIAL OCCUPANCY
D:	BUSINESS AND PERSONAL SERVICES OCCUPANCY

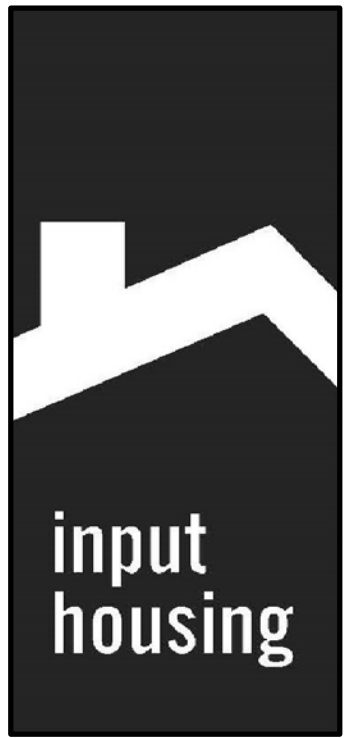


2 MAIN FLOOR PLAN  
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4 3RD FLOOR PLAN  
1:100

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2 2019-03-04 REVISION ADDENDUM 1		
1 2019-02-20 ISSUED FOR BIDDING		
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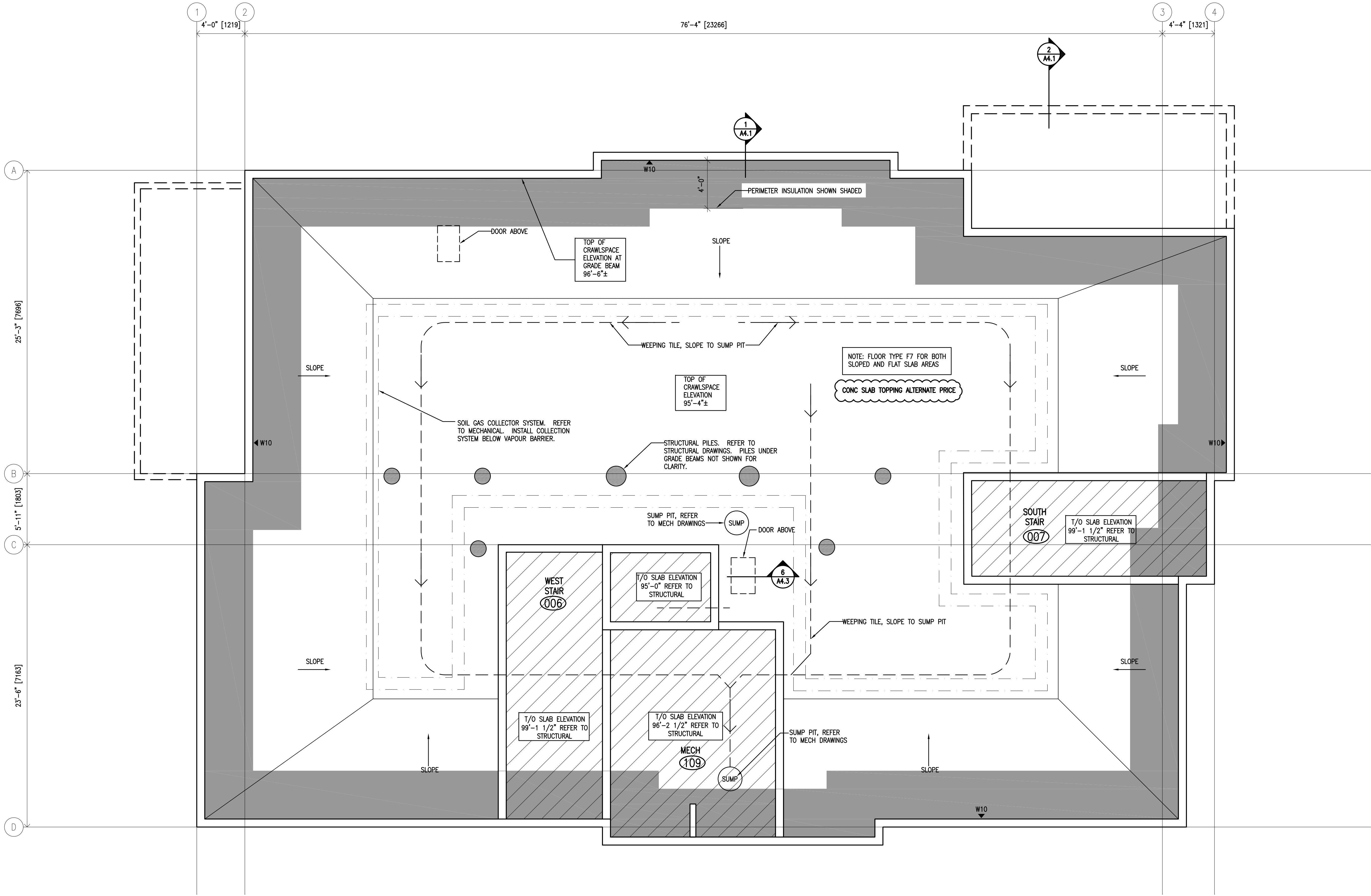
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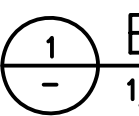
PROJECT TITLE  
**INPUT HOUSING  
MITCHINSON & WAKELING  
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REGINA, SK**

DRAWING TITLE  
**COVER SHEET  
CODE ANALYSIS**

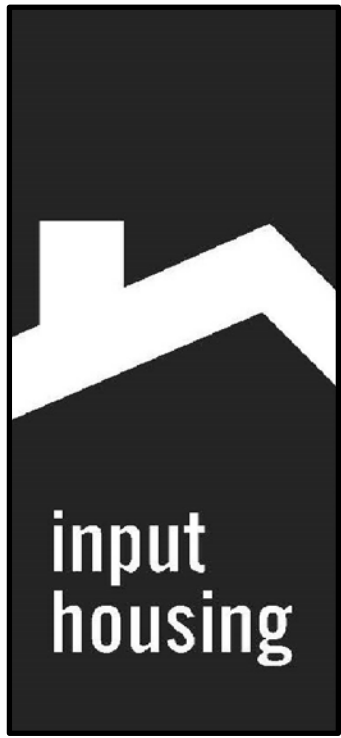
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DATE 2019-02-20	SCALE AS NOTED	
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2019/03/04/SEPW PROJECT FILES/2019/10-2016 INPUT HOUSING/ACAD/WORKING DRAWINGS/PLT FILES/A2.1 BASEMENT FLOOR PLAN



  **BASEMENT PLAN**  
1/4" = 1'

- NOTES**
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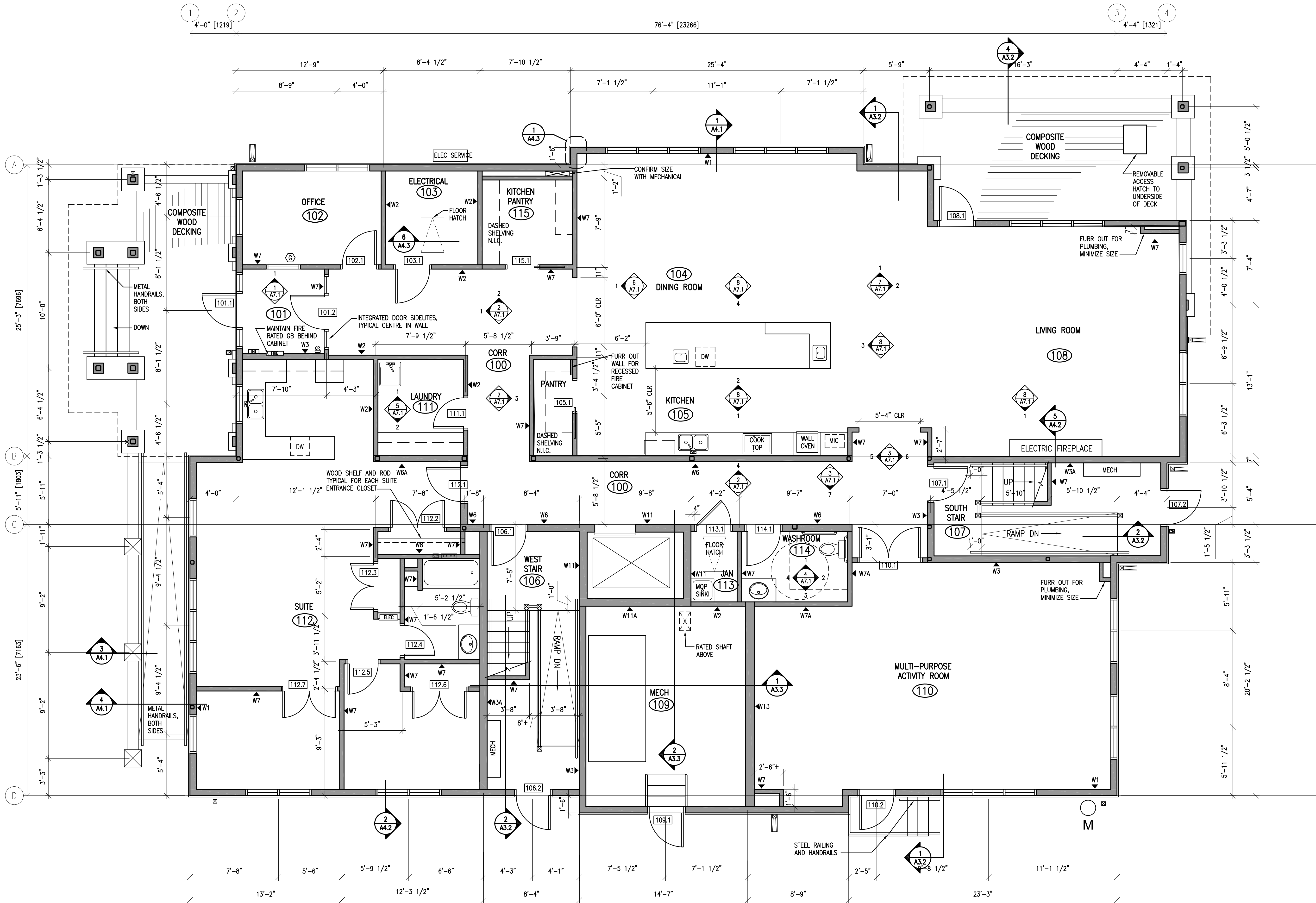
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**INPUT HOUSING**  
**MITCHINSON & WAKELING**  
**HARBOUR LANDING**  
**REGINA, SK**

**DRAWING TITLE**  
**BASEMENT FLOOR PLAN**

PROJECT NO. 10/2016		DRAWING NO. <b>A2.1R1</b>
DATE 2019-02-20	SCALE AS NOTED	
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2019/03/09A\\SEP\\PROJECT FILES\\2019\\10-2016 INPUT HOUSING\\A2\\WORKING DRAWINGS\\PLOT SHEETS\\PLOT FILES\\A2.2 MAIN FLOOR PLAN



1 MAIN FLOOR PLAN  
1/4" = 1'

#### FLOOR PLAN DRAWINGS NOTES

- WITHIN WALLS INSTALL MINERAL FIBRE INSULATION AROUND 3" VERTICAL PLUMBING STACKS FOR A MINIMUM OF 12" ON EITHER SIDE OF PIPE. TYPICAL FOR ALL SUITES ON SECOND AND THIRD FLOORS. REFER TO MECHANICAL DRAWINGS FOR LOCATIONS.
- FIRE RATED GYPSUM BOARD TO BE CONTINUOUS ON ALL SIDES BEHIND RECESSED CABINETS IN FIRE RATED WALLS.
- FLOORING IN 2ND AND 3RD FLOOR SUITES IS TO BE CONTINUOUS BELOW KITCHEN ISLANDS TO ALLOW FOR FUTURE RELOCATION OF ISLANDS.
- INSTALL ISOLATION DAM AT THE THRESHOLD OF SUITE DOORS AND ADJACENT CORRIDORS PRIOR TO POURING CONCRETE TOPPING.
- REFER TO INTERIOR ELEVATION DRAWINGS FOR ELEVATIONS OF KITCHEN MILLWORK AND WASHROOM VANITIES AND CABINETS.

#### APPLIANCES AND ACCESSORIES

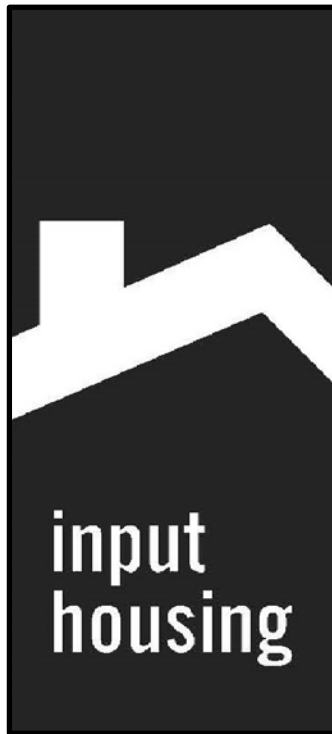
- SUITE KITCHEN APPLIANCES:
  - UNDERCOUNTER DISHWASHERS WILL BE SUPPLIED AND INSTALLED BY GENERAL CONTRACTOR. FOR TENANT SUITES (11 UNITS) PROVIDE "BOSCH ASCENTA SHE3AR75UC" OR APPROVED EQUIVALENT.
  - RANGE HOODS WILL BE SUPPLIED AND INSTALLED BY GENERAL CONTRACTOR. REFER TO MECHANICAL DRAWINGS.
  - STOVES, REFRIGERATORS AND MICROWAVES WILL BE ROUGHED-IN IN ACCORDANCE WITH MECH AND ELEC DRAWINGS BUT ARE NOT INCLUDED IN THE CONTRACT.
- COMMON AREA KITCHEN APPLIANCES:
  - UNDERCOUNTER DISHWASHER WILL BE PROVIDED BY OWNER AND INSTALLED BY GENERAL CONTRACTOR.
  - RANGE HOODS WILL BE SUPPLIED AND INSTALLED BY GENERAL CONTRACTOR. REFER TO MECHANICAL DRAWINGS.
  - SUPPLY AND INSTALL BOSCH30 INDUCTION COOKTOP 500 SERIES -

- BLACK MODEL # NITS068UC. REFRIGERATORS AND MICROWAVES WILL BE ROUGHED-IN IN ACCORDANCE WITH MECH AND ELEC DRAWINGS BUT ARE NOT INCLUDED IN THE CONTRACT.
- ELECTRIC FIREPLACE: DIMPLEX "IGNITE XL74" LINEAR FIREPLACE OR APPROVED ALTERNATIVE. DIMENSIONS 75.41"W x 16.49"H.
- WASHROOM ACCESSORIES:
  - SAFETY GRAB BARS ARE NOT INCLUDED IN THE CONTRACT HOWEVER CONTRACTOR IS TO PROVIDE WOOD BLOCKING FOR FUTURE INSTALLATION OF GRAB BARS IN GRAB BAR LOCATIONS INDICATED ON DRAWINGS.
  - WOOD BLOCKING IS TO BE PROVIDED WITHIN TUB AND SHOWER ASSEMBLIES TO ALLOW FOR FUTURE INSTALLATION OF GRAB BARS. COORDINATE LOCATION AND INSTALLATION OF BLOCKING WITH TUB

- /SHOWER SUPPLIER AND OWNER. CONTRACTOR TO PROVIDE BLOCKING AND LABOUR FOR INSTALLATION OF ONE TOWEL BAR AND ONE TOILET PAPER HOLDER IN EACH WASHROOM. INCLUDES TWELVE UNITS INCLUDING COMMON WASHROOM ON MAIN FLOOR. ACCESSORIES AND APPLIANCES TO BE SELECTED BY OWNER.
- SUITE CLOSETS:
  - SUITE MAIN ENTRANCE CLOSET TO HAVE ROD AND SHELF AS PER DRAWING DETAIL.
  - BEDROOM CLOSET RODS AND SHELVING AS WELL AS OTHER STORAGE CLOSETS ARE NOT IN CONTRACT UNLESS NOTED. GENERAL CONTRACTOR IS TO PROVIDE WOOD BLOCKING AT STANDARD HEIGHTS FOR BEDROOM CLOSET SHELVES AS PART OF THIS CONTRACT.

#### NOTES

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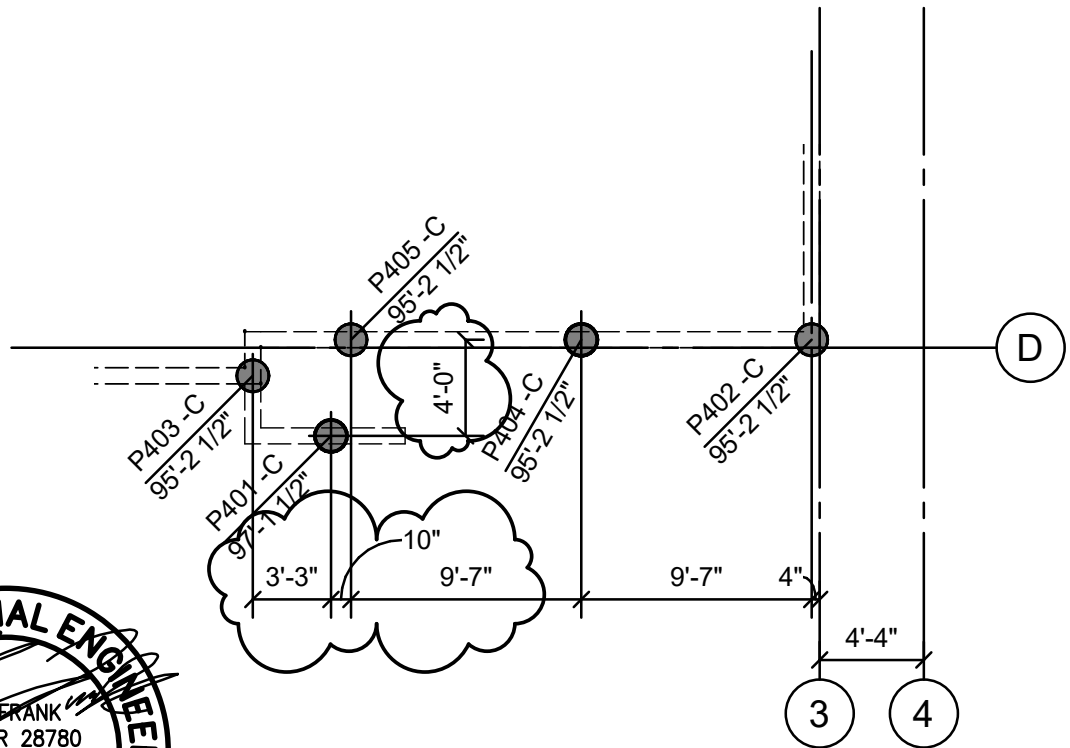
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REGINA, SK**

DRAWING TITLE  
**MAIN FLOOR PLAN**

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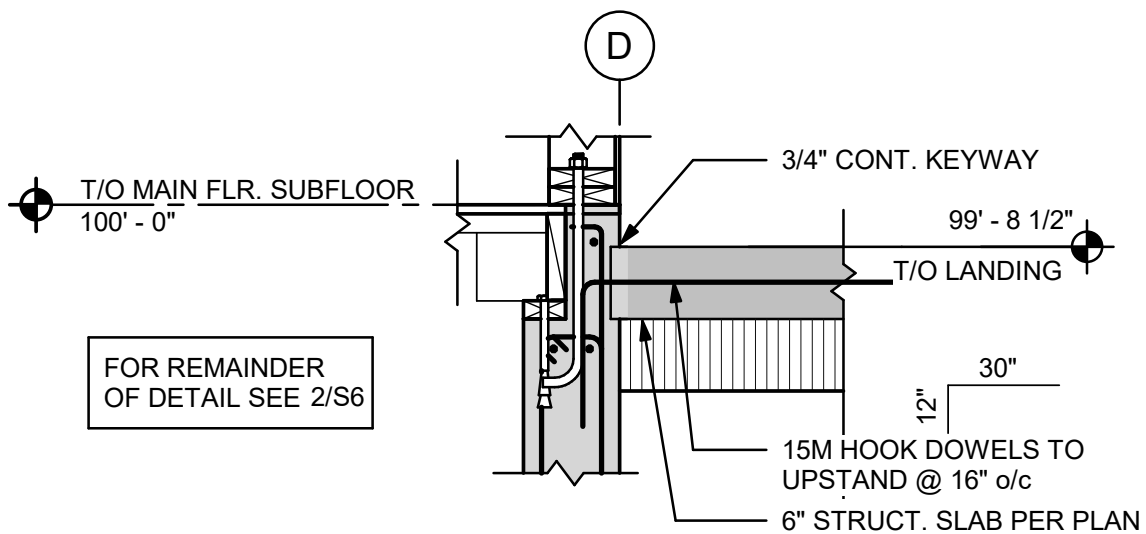




1  
SK2

## PARTIAL PILE PLAN

1/8" = 1'-0"



FOR REMAINDER  
OF DETAIL SEE 2/S6

3  
SK2

## EXTERIOR SLAB @ UPSTAND DETAIL

3/4" = 1'-0"

ADD AS DETAIL 6/S11

3/1/2019 2:06:43 PM